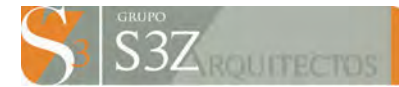


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• Aventura •
FL - Miami

The New Heart of Aventura

A Curated Mixed-Use Destination in Aventura

Central Aventura is a thoughtfully designed mixed-use destination located in the heart of Aventura, created to bring together luxury dining, lifestyle experiences, medical services, and high-end offices in one cohesive environment. The project features a carefully curated collection of upscale restaurants, cafés, and dessert concepts including coffee shops and ice cream boutiques designed to offer variety, quality, and a vibrant day-to-night experience. Central Aventura also includes medical office space tailored for pediatric care, general medicine, wellness providers, and specialized practices, offering patients and professionals a modern, accessible, and refined setting. Complementing the retail and medical components are luxury private offices, designed for professionals and businesses seeking an elevated work environment with direct access to amenities and services. To complete the experience, Central Aventura integrates fitness and wellness concepts, including boutique gyms and studios such as pilates, yoga, and cross-training, creating a destination that supports health, balance, and everyday life. With a balanced and intentional tenant mix, Central Aventura is designed to serve the Aventura community with a diverse selection of dining, services, and lifestyle offerings all within a single, connected destination.



Built by JAXI Builders

Central Aventura is constructed by JAXI Builders, Inc., a leading general contractor based in Doral, Florida with more than three decades of experience delivering high-quality construction across South Florida. Known for their commitment to excellence from “foundation to finish,” JAXI Builders has a proven track record in mixed-use, multifamily, commercial, and hospitality projects—ranging from urban residences and retail spaces to large-scale community developments and healthcare facilities. Their portfolio includes notable projects such as modern mixed-use buildings in Miami and Fort Lauderdale, luxury residential complexes, and strategically designed structures that contribute to vibrant, walkable neighborhoods throughout the region. With rigorous standards for quality, safety, and on-time delivery, JAXI Builders brings the same level of precision and professionalism to Central Aventura, ensuring it stands as a lasting landmark in Aventura’s built environment.

ELJA Developers

ELJA Developers is a real estate development company with over 20 years of experience delivering successful mixed-use, residential, office, and retail projects across Mexico and the United States.

Our strength lies in understanding how people live, work, and interact in today’s evolving urban environments. We develop projects that respond to current market trends, consumer behavior, and long-term growth dynamics.

In retail and mixed-use developments, we specialize in creating the right tenant mix — carefully balancing complementary concepts, dining, services, and experiential components to ensure commercial vitality and sustained performance. Our strategic approach maximizes foot traffic, strengthens tenant success, and enhances long-term asset value.

Architecture by Javier Font

Central Aventura’s architecture is led by Javier Font, Principal at the award-winning firm Behar Font & Partners, P.A., bringing more than three decades of design excellence to the project. With a distinguished portfolio of mixed-use, retail, residential, and urban developments across Miami and South Florida, Javier’s work reflects a commitment to thoughtful planning, refined proportions, and contextual modernity that responds to both environment and community. His experience shaping notable projects throughout Florida ensures that Central Aventura embodies a sophisticated architectural vision that is both functional and iconic—elevating the everyday experience for tenants, visitors, and the broader Aventura region.



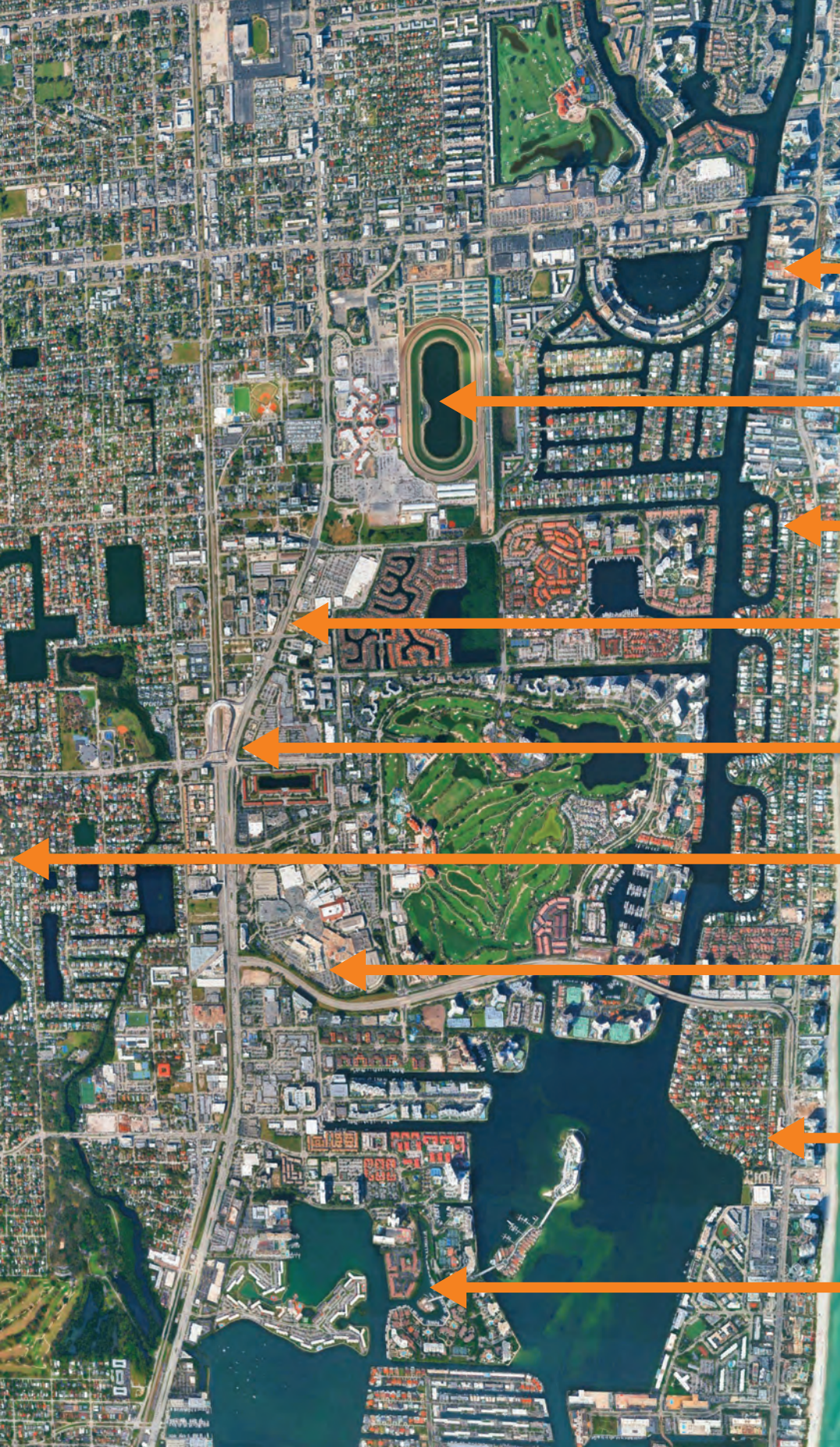


THIRD FLOOR - RETAIL
RETAIL 26,303 sq.ft.

- Available
- LOI-Leasenegotiations
- Leased



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HOLLYWOOD BEACH

GULFSTREAM PARK

GOLDEN BEACH

CENTRAL AVENTURA

BISCAYNE BLVD

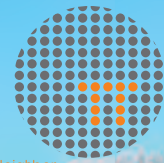
I-95 EXPRESS

AVENTURA MALL

SUNNY ISLES BEACH

WILLIAMS ISLAND





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 **HCA Florida**
Aventura Hospital



 **HCA Florida**
Aventura Hospital



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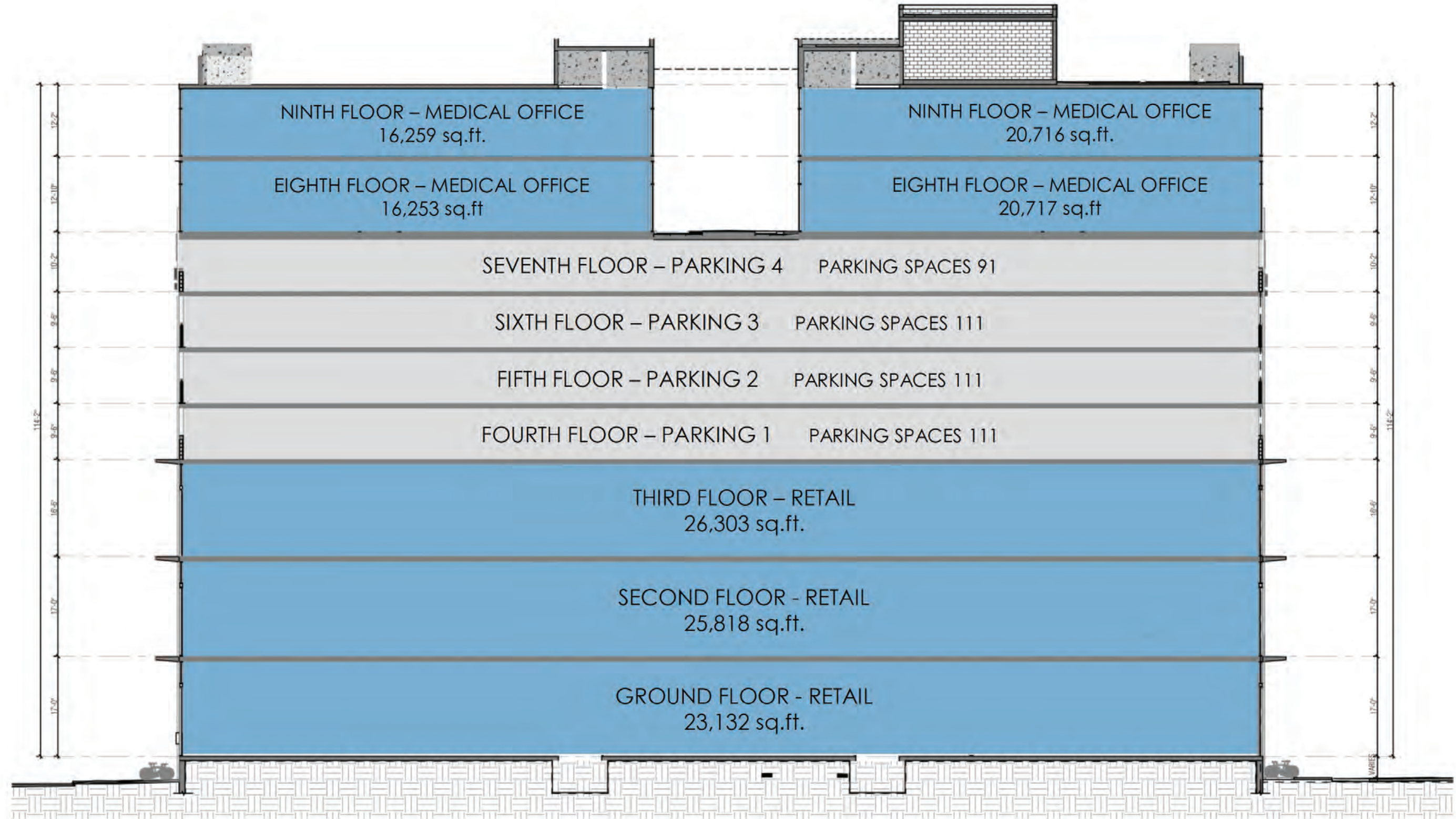
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GROUND FLOOR - RETAIL
RETAIL 23,132sq.ft.

- Available
- LOI-Leasenegotiations
- Leased

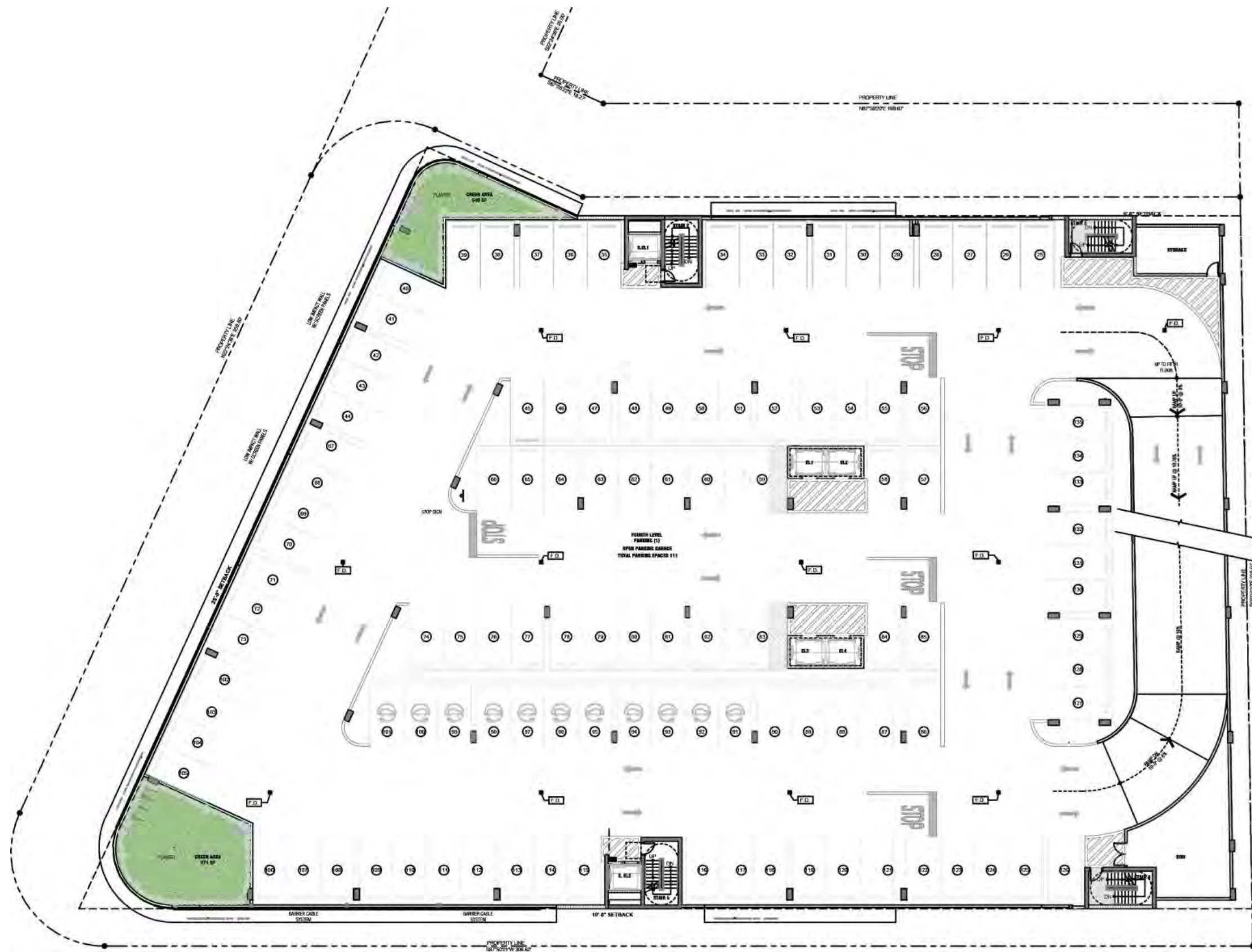




SECOND FLOOR -RETAIL
RETAIL 25,818 sq.ft.

- Available
- LOI-Leasenegotiations
- Leased

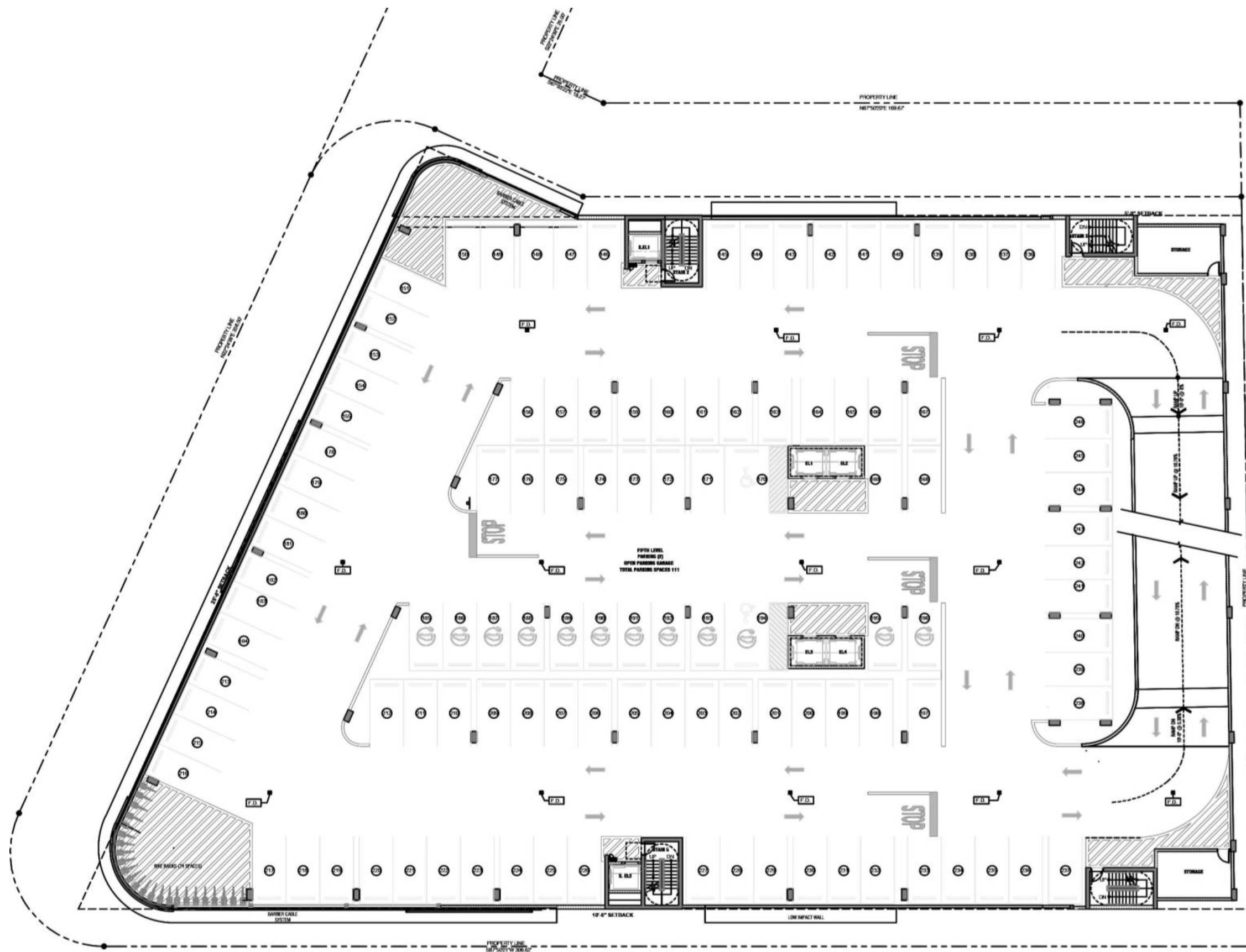




FOURTH FLOOR - PARKING 1

111 PARKING SPACES





FIFTH FLOOR - PARKING 2

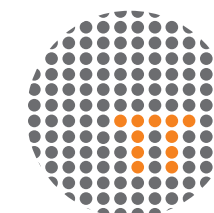
111 PARKING SPACES

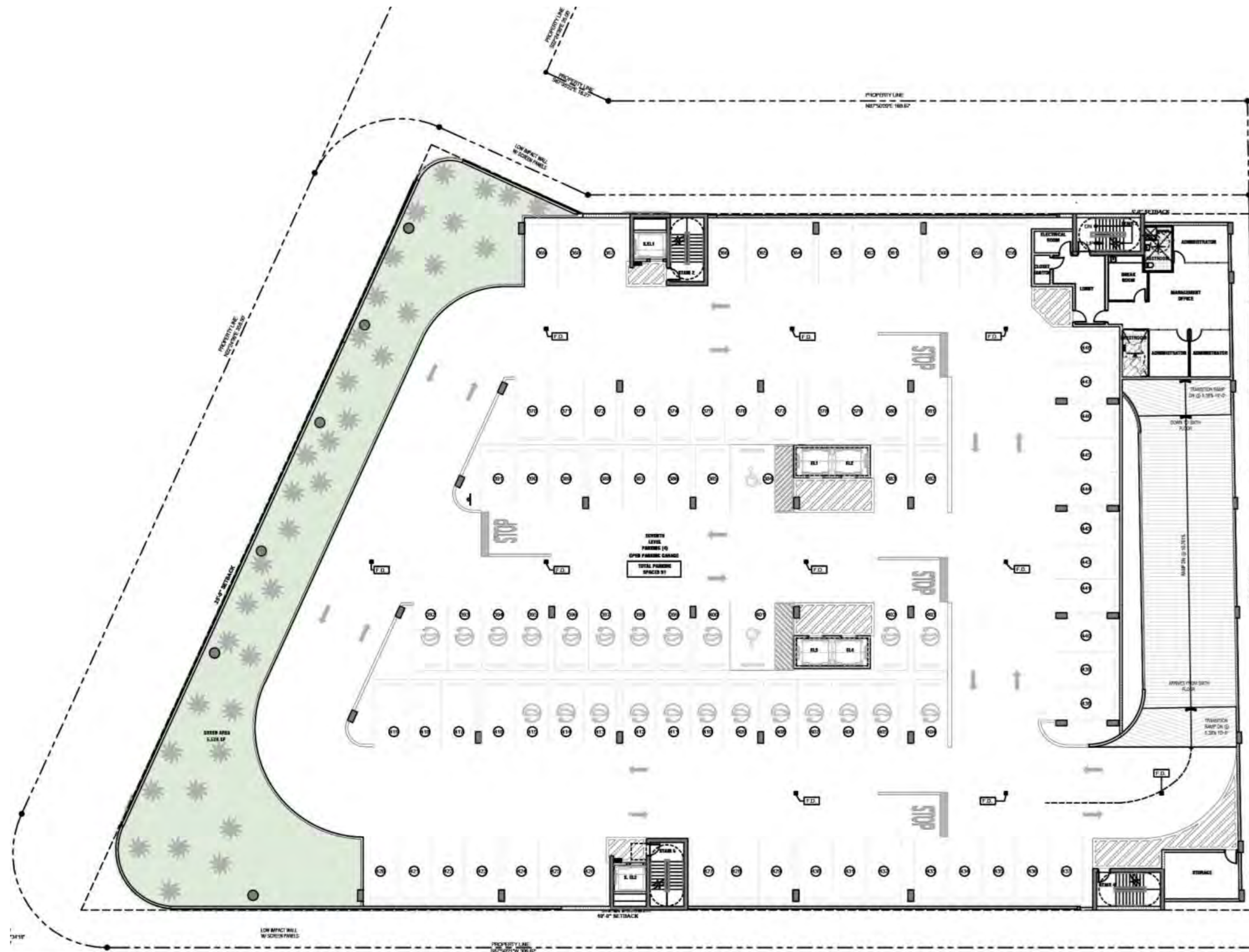




SIXTH FLOOR-PARKING 3

111 PARKING SPACES

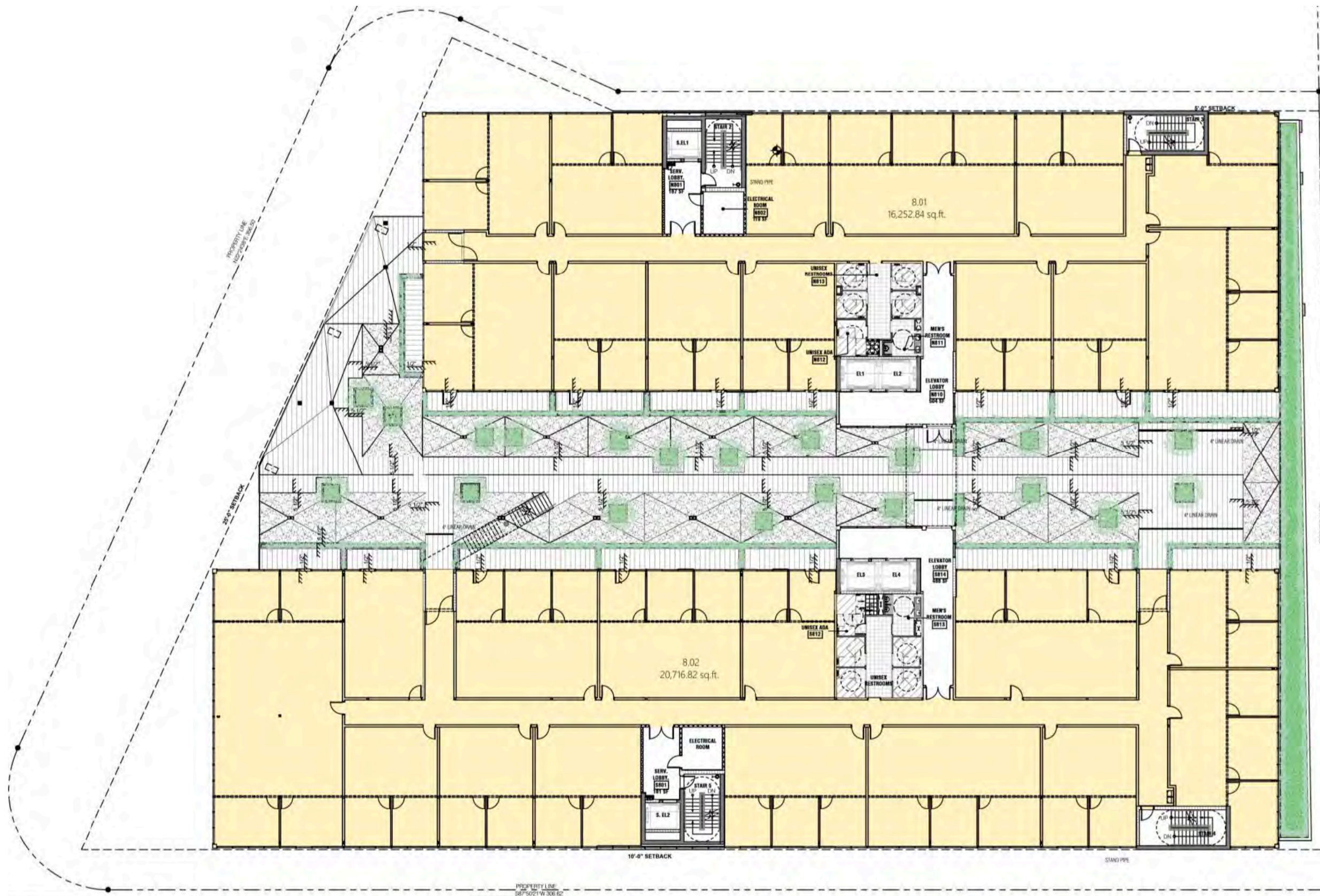




SEVENTH FLOOR - PARKING 4

91 PARKING SPACES



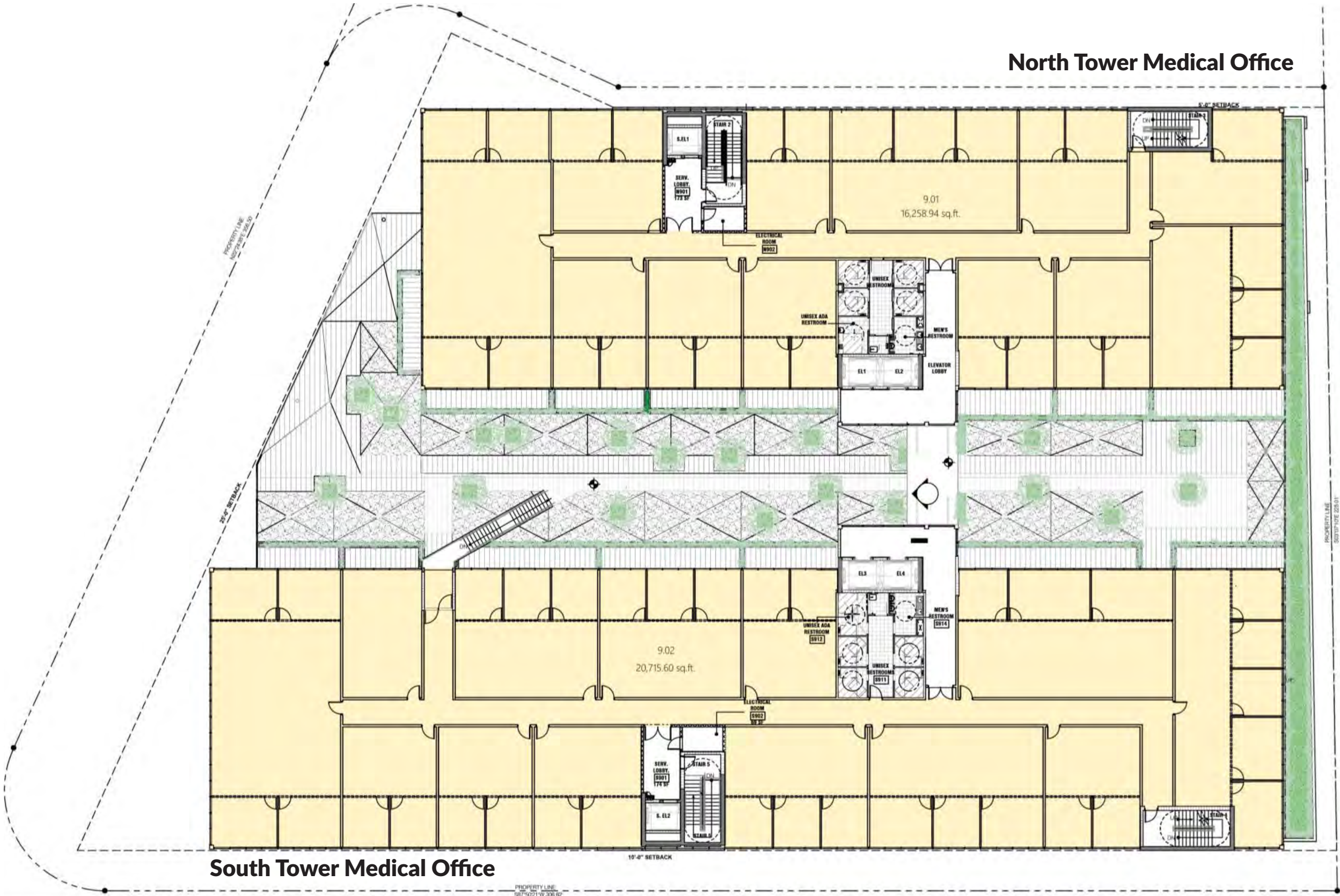


**EIGHTH FLOOR
MEDICAL OFFICES**

- Available
- LOI-Leasenegotiations
- Leased



North Tower Medical Office



South Tower Medical Office

**NINTH FLOOR
MEDICAL OFFICES**

- Available
- LOI-Leasene negotiations
- Leased



CENTRAL AVENTURA

RETAIL

GROUND FLOOR

CODE		SQFT	
GF-1	RETAIL 1	1,471	PLAYA BOWLS
GF-2	RETAIL 2	298	
GF-3	RETAIL 3	9,577	CAPITAL GRILL
GF-4-5	RETAIL 4- 5	9,265	
GF-6	RETAIL 6	580	
GF-7	RETAIL 7	1,941	

SECOND FLOOR

CODE		SQFT	
SF-1	RETAIL 8	1,706	
SF-2	RETAIL 9	488	
SF-3	RETAIL 12	6,437	FISHER'S
SF-4	RETAIL 13	5,025	
SF-5	RETAIL 14	9,720	
SF-6	RETAIL 15	635	
SF-7	RETAIL 16	1,807	

THIRD FLOOR

CODE		SQFT	
TF-1	RETAIL 10-11	9,334	PEDIATRIC ASSOCIATES
TF-2	RETAIL 17	1,838	DENTIST DR D
TF-3	RETAIL 18	717	
TF-4	RETAIL 19	11,629	LEGACY
TF-5	RETAIL 21	606	
TF-6	RETAIL 22	2,179	

TOTAL	23,132
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TOTAL	25,818
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TOTAL	26,303
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TOTAL RETAIL	75,253	SQFT
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OFFICES

EIGHTH FLOOR

	SQFT
8 F. NORTH	16,252.84
8 F. SOUTH	20,716.82

TOTAL	36,969.66
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NINTH FLOOR

	SQFT
9 F. NORTH	16,258.94
9 F. SOUTH	20,715.60

TOTAL	36,974.54
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TOTAL USABLE	60,610.00	SQFT
TOTAL RENTABLE BOMA	73,944.20	SQFT

SUMMARY OF AREAS



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